

# NORTH & EAST PLANS PANEL

THURSDAY, 19<sup>TH</sup> OCTOBER 2023



Doing our best – to be the Best Council in the Best City □1

APPLICATION: 23/01507/FU

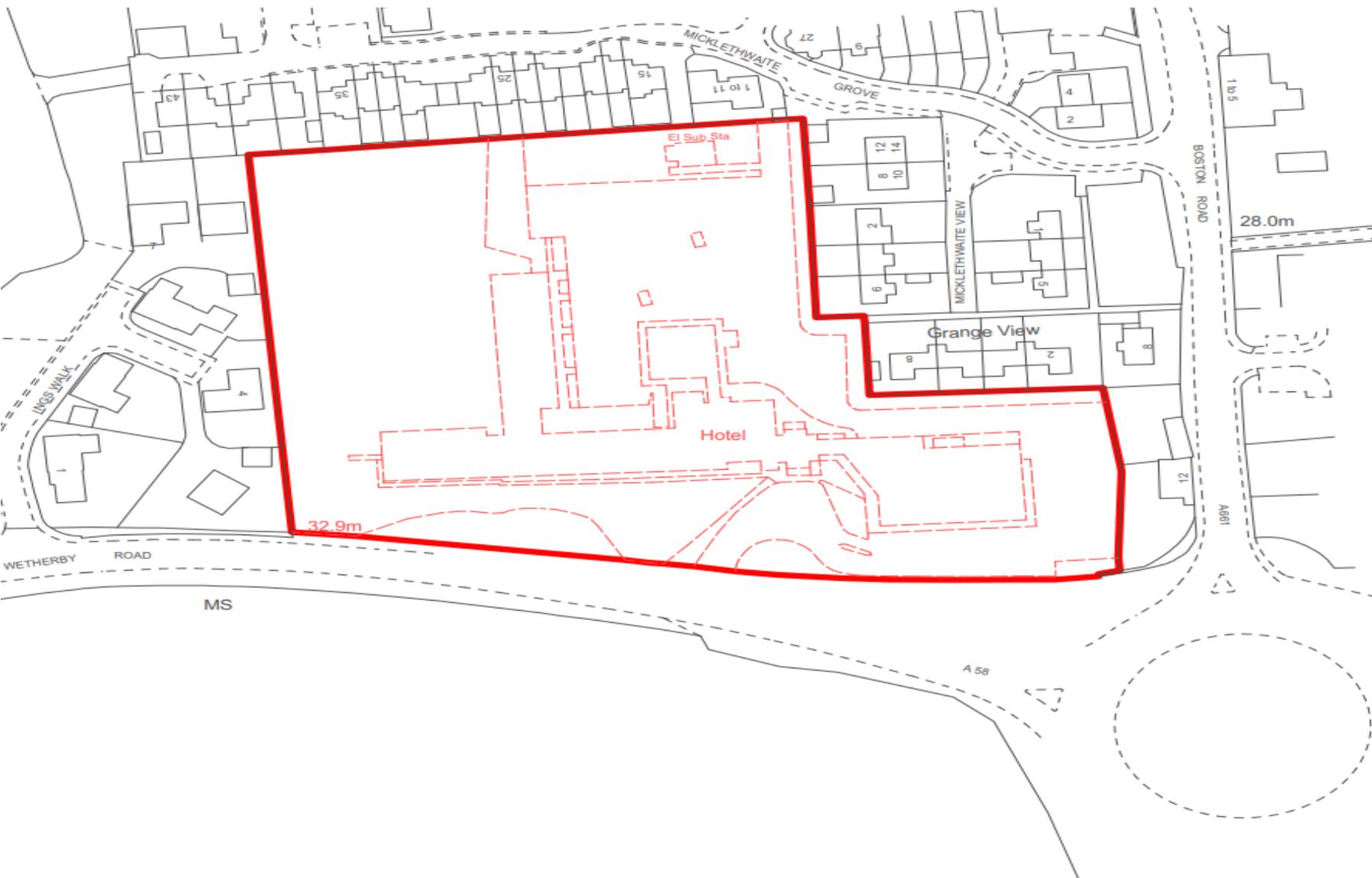
**PROPOSAL:** Phased development to comprise demolition of existing buildings and erection of a foodstore (Use Class E), care home (Use Class C2) and eight senior living homes (Use Class C3) with associated access, parking, servicing area and landscaping.

**ADDRESS:** Mercure Hotel, Leeds Road, Collingham, Wetherby, LS22 5HE



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ALL DIMENSIONS SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

SUBJECT TO SURVEY AND TRACKING AND TITLE PLANS



Rev	28.02.23	Updated Description	BM Drawn
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client  
**Lidl GB Ltd.**



project  
**Mixed Use Development,  
 Wetherby**

drawing title  
**Location Plan**

date **February 2023**  
 status **Planning**  
 scale **1:1250 @ A4**  
 drawn **BM** checked **PH**  
 job no. **2808** dwg no. **P402** Rev. **B**













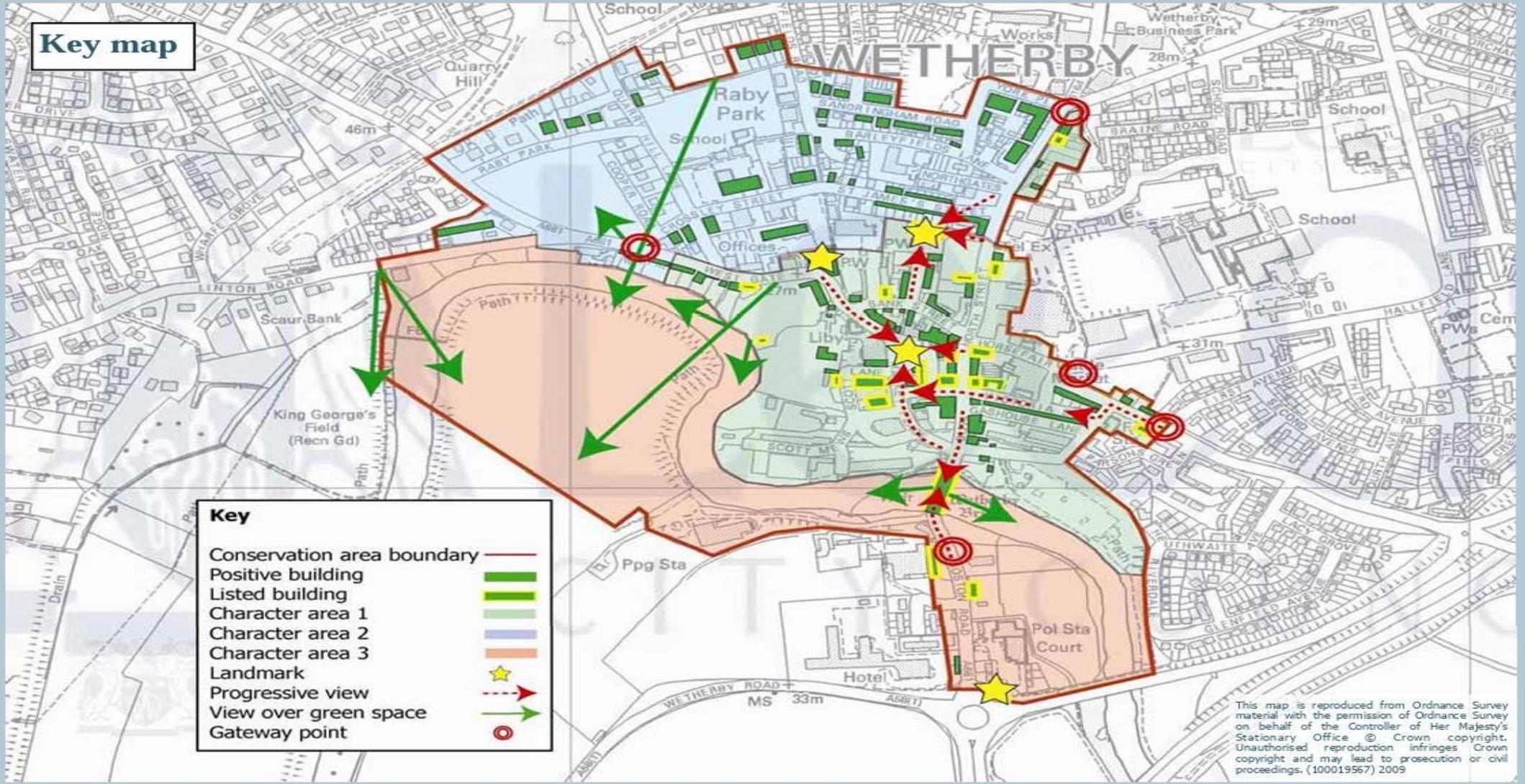








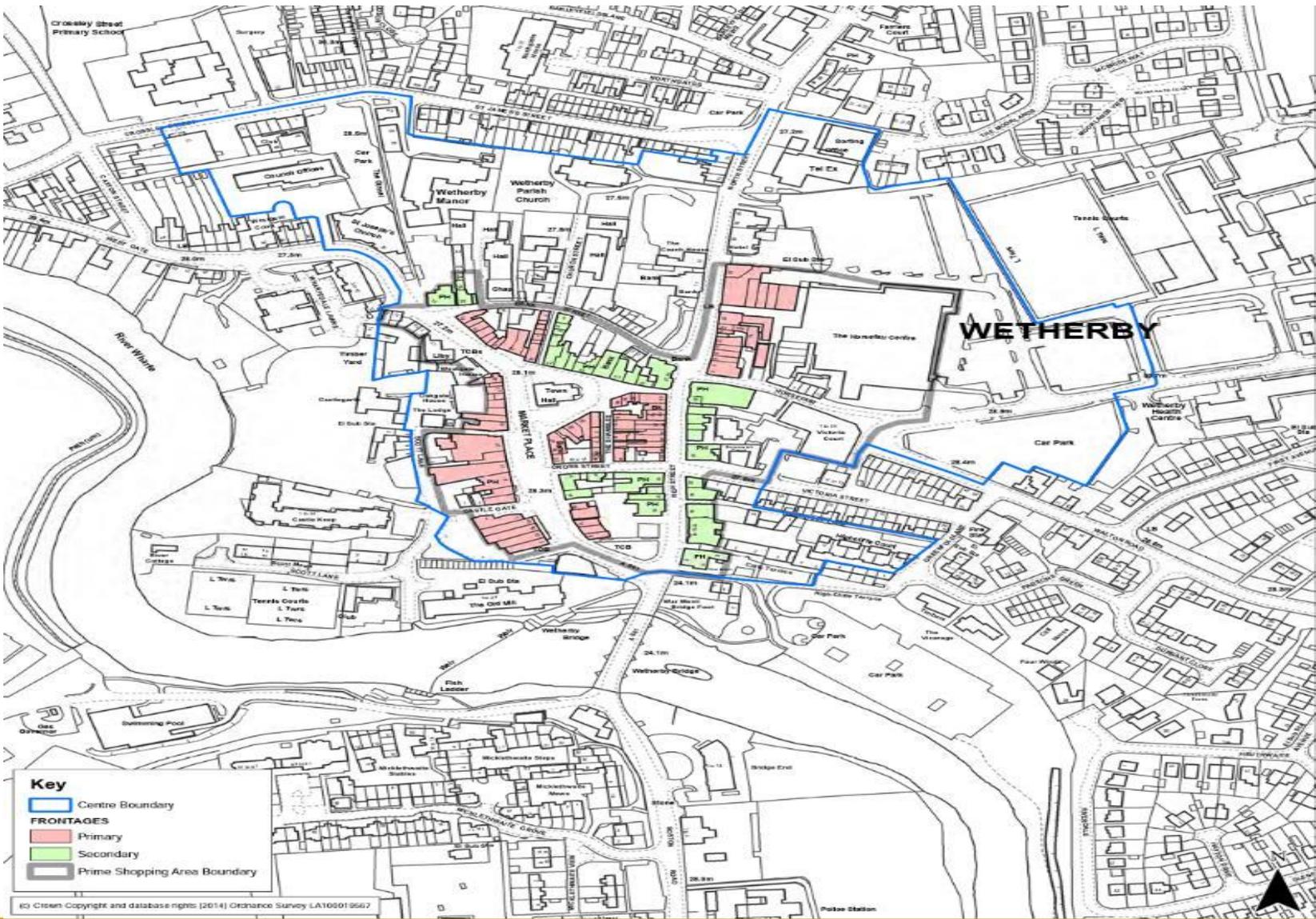
# Key map



**Key**

- Conservation area boundary ———
- Positive building ———
- Listed building ———
- Character area 1 ———
- Character area 2 ———
- Character area 3 ———
- Landmark ★
- Progressive view ———▶
- View over green space ———▶
- Gateway point ○

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SUBJECT TO SURVEY AND TRACKING AND TITLE PLANS



TOTAL SITE AREA (RED BOUNDARY)  
18424.2sqm / 4.55 ACRES



U	17.08.23	LDI landscape updated, usability update added	Rev
T	15.05.23	On Progress updated	Rev
S	17.05.23	Proposed Tree removals	Rev
R	14.05.23	Care home Site Updates	Rev
D	03.03.23	Updated Landscape	Rev
P	02.02.23	Updated Landscape - LID	Rev
N	28.02.23	Updated scheme - includes retaining walls	Rev
M	23.02.23	Updated scheme - added Urban Green Landscape	Rev
L	14.02.23	Updated scheme - added Highway	Rev
J	10.02.23	Updated scheme - added A&A train report	Rev
H	06.02.23	Updated scheme	Rev
Rev	Date	Description	Drawn

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client  
**Lidl GB Ltd.**

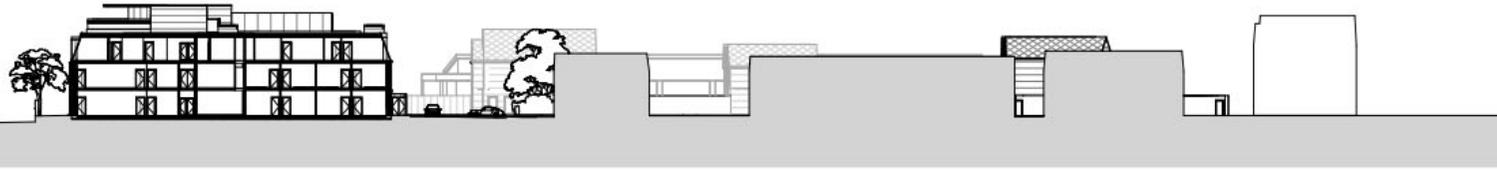


project  
**Mixed Use Development,  
Wetherby**

drawing title  
**GA Proposed Site Plan -  
Master Plan**

date **February 2023**  
status **Planning**  
scale **1:500 @ A2**  
drawn **BM** checked **PH**  
job no. **2808** dwg no. **P403** Rev. **U**

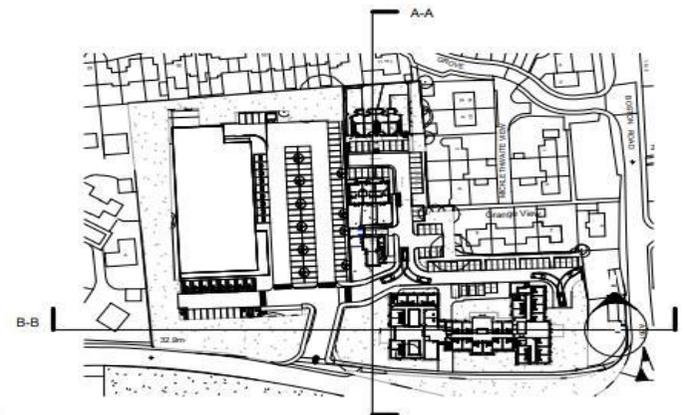


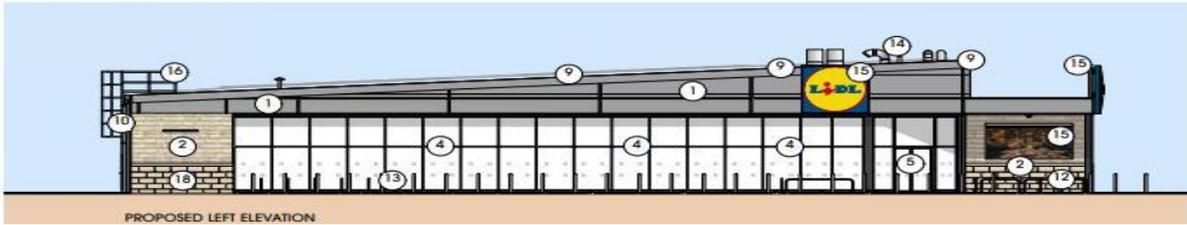


SITE SECTION AA 1/500

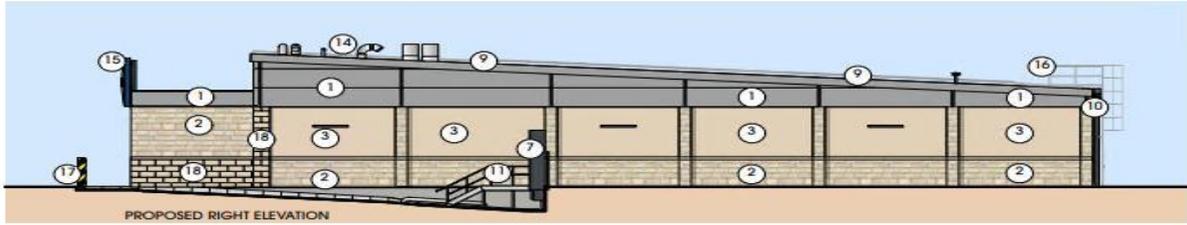


SITE SECTION BB 1/500

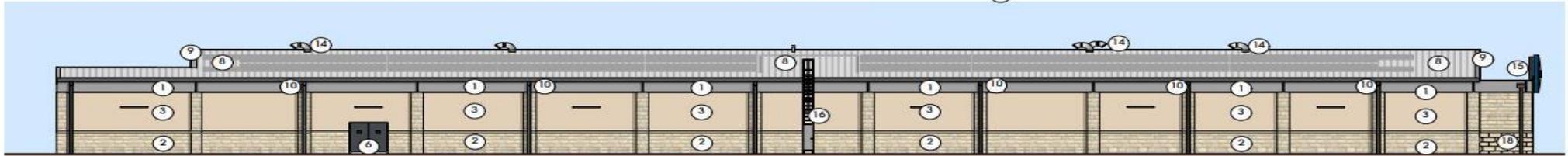




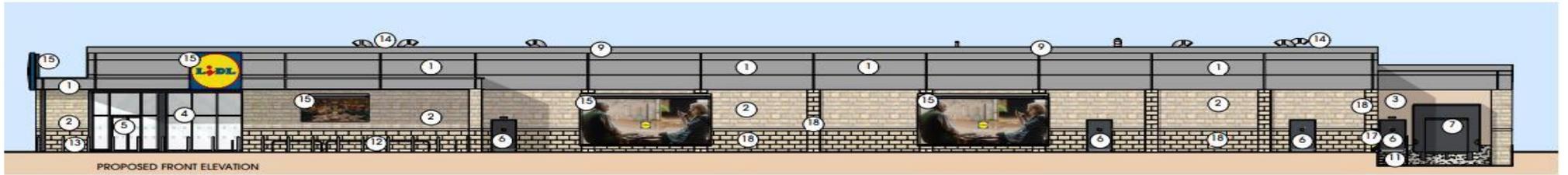
PROPOSED LEFT ELEVATION



PROPOSED RIGHT ELEVATION



PROPOSED REAR ELEVATION



PROPOSED FRONT ELEVATION

**MATERIALS KEY**

- ① INSULATED METAL CLADDING PANELS - COLOUR: GREY (RAL 9006)
- ② BUFF FACING NATURAL LOCALLY SOURCED STONE. FINISHED WITH CLEAN CUT ASHLAR BANDING. TO MATCH LOCAL VERNACULAR.
- ③ STONE COLOURED RENDER, COLOUR TO MATCH (2) NATURAL LOCAL SOURCED STONE
- ④ CURTAIN WALLING - DOUBLE GLAZED UNITS - COLOUR: GREY (RAL 7024)
- ⑤ ENTRANCE DOORS - DOUBLE GLAZED UNITS - COLOUR: GREY (RAL 7024)
- ⑥ POWDER COATED STEEL DOORS - COLOUR: GREY (RAL 7024)
- ⑦ SECTIONAL DOOR - COLOUR: GREY (RAL 7024)
- ⑧ METAL COMPOSITE INSULATED ROOF PANELS
- ⑨ STEEL COPING FLASHING TO ROOF PERIMETER - COLOUR: GREY (RAL 9006) TO MATCH CLADDING.
- ⑩ ALUMINIUM GUTTERS AND RAIN WATER PIPES - COLOUR: GREY (RAL 9006) TO MATCH CLADDING.
- ⑪ GALVANISED METAL DRIVERS STEPS, STAIRCASE AND BALLUSTERS WITH HANDRAILS. ALL STEPS TO BE CONSTRUCTED IN ACCORDANCE WITH BUILDING REGS PART K.
- ⑫ STAINLESS STEEL TUBULAR TROLLEY GUIDES (MARINE GRADE 316) SPACES FOR WHEELCHAIR SHOPPING TROLLEYS AND TROLLEYS WITH BABY SEATS. FIXED WITH CONCRETE FOUNDATION.
- ⑬ STAINLESS STEEL CYCLE STANDS, 750mm HIGH, ROOT FIXED TO CONCRETE FOUNDATION.
- ⑭ M&E ITEMS, SIZE AND LOCATIONS ARE INDICATIVE ONLY
- ⑮ ADVERTISING SIGNAGE INDICATIVE ONLY.
- ⑯ ROOF ACCESS LADDER
- ⑰ CONCRETE FILLED GALVANISED STEEL HGV BOLLARD PAINTED BLACK & YELLOW AT 45DEG.
- ⑱ CLEAN CUT ASHLAR NATURAL LOCALLY SOURCED LIMESTONE TO THE PLINTH AND COLUMNS

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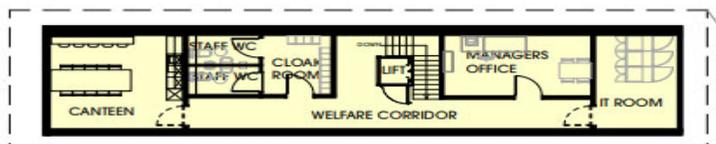
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 UNLESS OTHERWISE SPECIFIED

 100% LOCAL 100% SKILLED 100% COMMITMENT	<b>Client</b> Lidl GB Ltd.  <b>Project</b> Wetherby Road Wetherby drawing title Proposed Elevations	 <b>date</b> February 2023 <b>status</b> Planning <b>scale</b> 1:200 @ A3 <b>drawn</b> NG checked BM <b>job no.</b> 2808 <b>step no.</b> P201 <b>rev.</b> C
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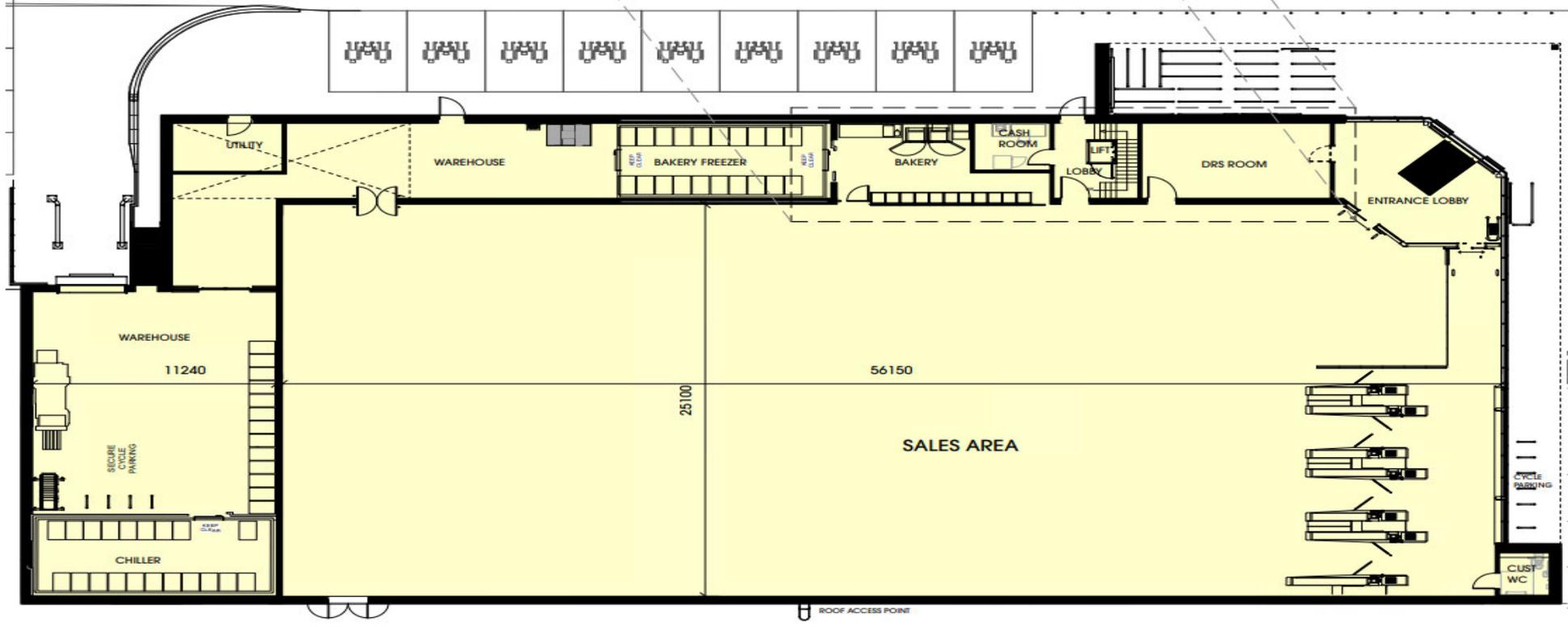
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SUBJECT TO SURVEY AND TRACKING AND TITLE PLANS



First Floor Plan



Ground Floor Plan

NO.	DATE	DESCRIPTION	BY	CHKD

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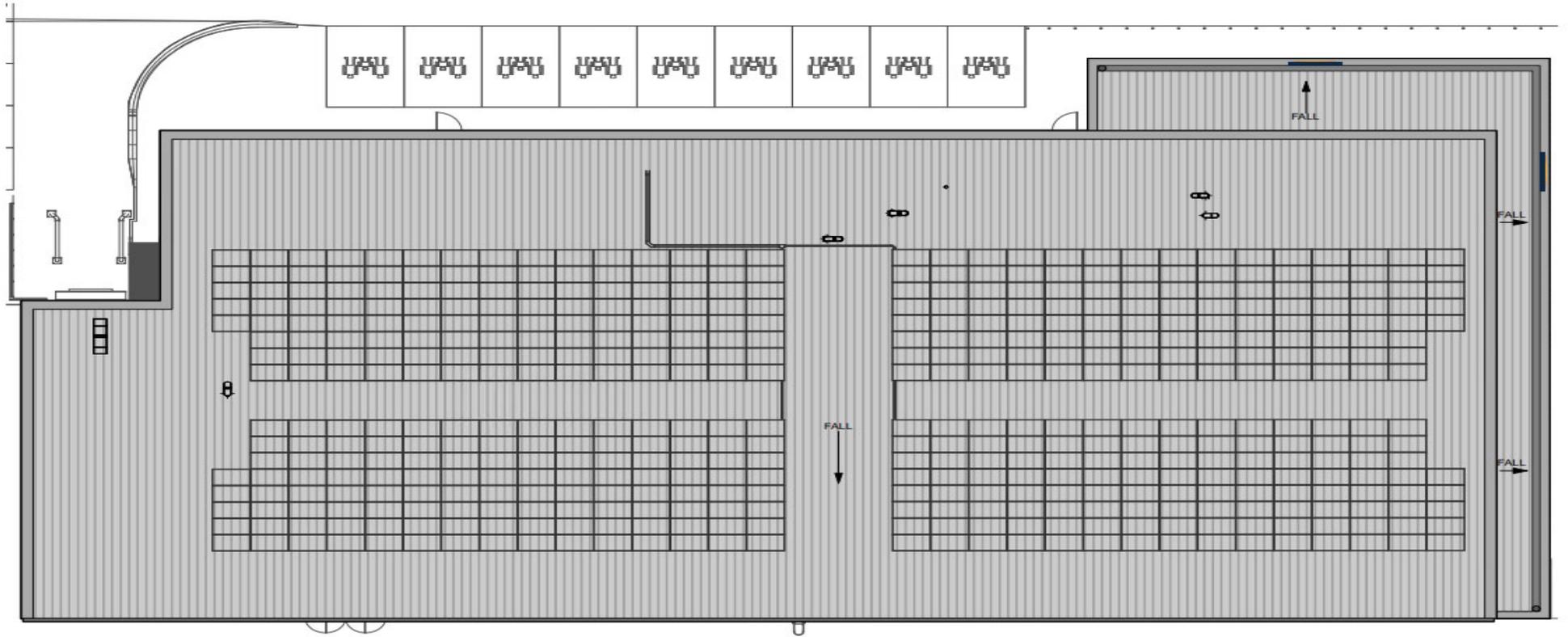
client  
**Lidl GB Ltd.**



project  
**Mixed Use Development,  
Wetherby**

drawing title  
**GA Proposed Lidl  
Ground and First Floor Plans**

date February 2023  
status Planning  
scale 1:200 @ A3  
drawn BM checked PH  
job no. 2808 dwg no. P101 Rev. D



Roof Plan

SUBJECT TO SURVEY AND TRACKING AND TITLE PLANS

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ALL DIMENSIONS SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES



client  
Lidl GB Ltd



project  
Mixed Use Development  
Wetherby

drawing title  
Lidl - GA Proposed Roof Plan

date  
February 2023

status  
Planning

scale  
1:200 @ A3

drawn  
BM checked  
PH

job no.  
2808

diag no.  
P103

rev.  
B

htcarchitects

York House Studio

8 Balmby Street

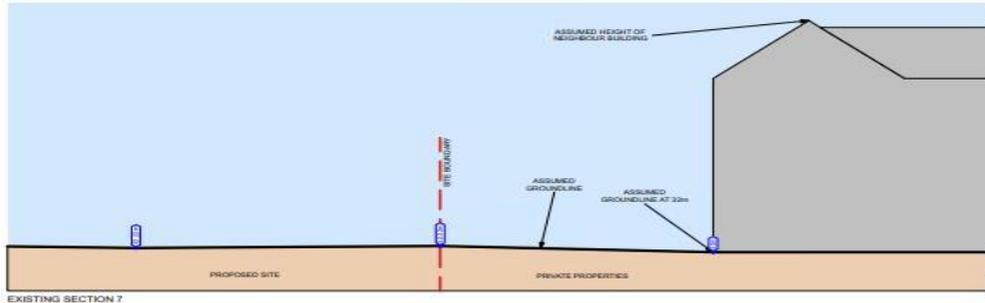
Leeds

LS1 2EQ

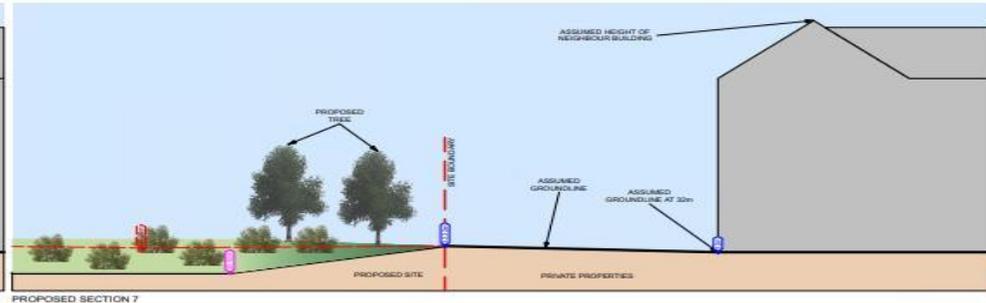
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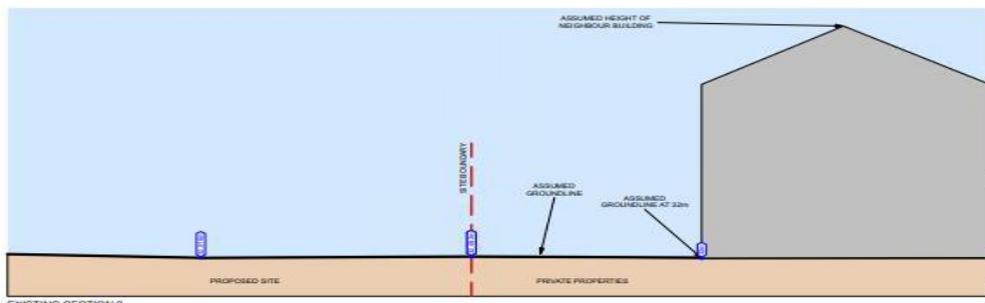
E: info@htcarchitects.co.uk



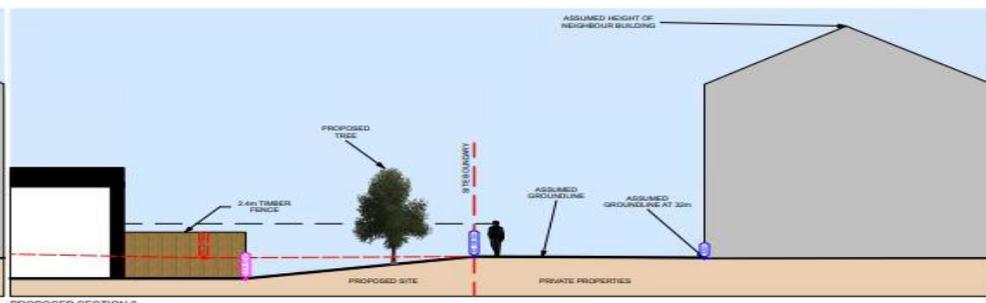
EXISTING SECTION 7



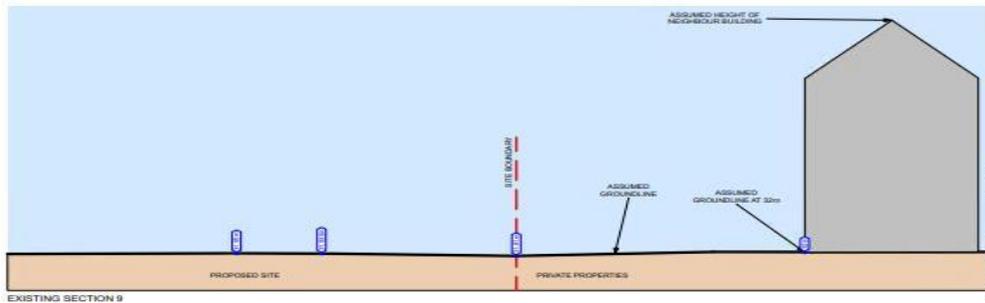
PROPOSED SECTION 7



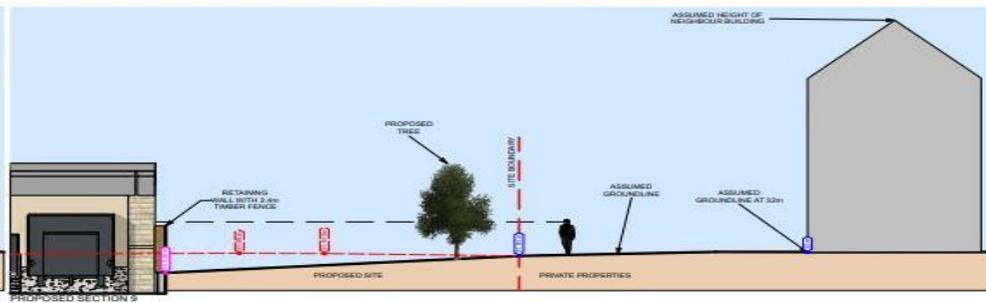
EXISTING SECTION 8



PROPOSED SECTION 8



EXISTING SECTION 9



PROPOSED SECTION 9

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TO BE READ IN CONJUNCTION WITH TOPPING LEVELS DRAWING 21028-02-C-0202-2-04 AND EXISTING BUILDING DRAWINGS DRAWING TO BE READ IN CONJUNCTION WITH TREE REPORT



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Client  
**Lidl GB Ltd.**

Project  
**Wetherby Road, Wetherby**

Drawing title  
**Existing and Proposed Section 7, 8 & 9**

Date  
**February 2023**

Status  
**Planning**

Scale  
**1:200 @ A3**

Drawn  
**NG** Checked  
**BM**

Job no.  
**2808** Draw no.  
**P304** Rev.  
**B**

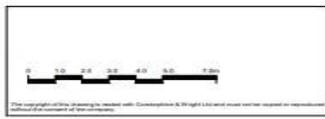
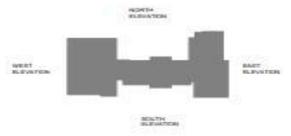


NORTH ELEVATION 1:100



EAST ELEVATION 1:100

1. Concrete base to wall - Specification TBC
2. Concrete infill panels - Specification TBC
3. Concrete infill window reveals - Specification TBC
4. Rendering over pre-cast - Specification TBC
5. Verticality pointing to infill to match brickwork - Specification TBC
6. Glass entrance window - Specification TBC
7. Verticality pointing to infill to match pre-cast brickwork - Specification TBC
8. Additional infill to match pre-cast - Specification TBC
9. Glass wall - Specification TBC
10. Rendered brickwork to match brickwork - Specification TBC
11. Additional infill to match pre-cast - Specification TBC
12. Acoustic screen system - Specification TBC
13. Timber cladding/panels - Specification TBC
14. Pale paving pattern - Specification TBC
15. Render pointing to match - Specification TBC



<p>Client: Springfield Healthcare</p> <p>Project: Wetherby Care Village</p> <p>Drawing Title: Care Home Proposed Elevations Sheet 1</p> <p>Drawing Status: PLANNING</p>	<p>Corstorphine &amp; Wright</p> <p>22 384 CWA ZZ A 0315</p> <p>HV JB A1 As Indicated</p>
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<p>01/03/23 HV JB</p> <p>02/03/23 HV JB</p> <p>03/03/23 HV JB</p>	<p>01/03/23 HV JB</p> <p>02/03/23 HV JB</p> <p>03/03/23 HV JB</p>
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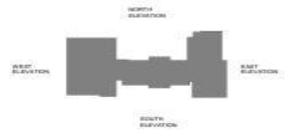


SOUTH ELEVATION 1/250



WEST ELEVATION 1/200

- 1. Concrete base finish - Specification TBC
- 2. Concrete base finish - Specification TBC
- 3. Concrete base finish - Specification TBC
- 4. Brickwork base finish - Specification TBC
- 5. Brickwork base finish - Specification TBC
- 6. Brickwork base finish - Specification TBC
- 7. Brickwork base finish - Specification TBC
- 8. Brickwork base finish - Specification TBC
- 9. Brickwork base finish - Specification TBC
- 10. Brickwork base finish - Specification TBC
- 11. Brickwork base finish - Specification TBC
- 12. Brickwork base finish - Specification TBC
- 13. Brickwork base finish - Specification TBC
- 14. Brickwork base finish - Specification TBC
- 15. Brickwork base finish - Specification TBC
- 16. Brickwork base finish - Specification TBC
- 17. Brickwork base finish - Specification TBC
- 18. Brickwork base finish - Specification TBC



0	0.5	1.0	1.5	2.0	2.5	3.0
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1. Planning Submission	01/03/23	HV	25
2. Planning Submission	01/03/23	HV	25
3. Planning Submission	01/03/23	HV	25

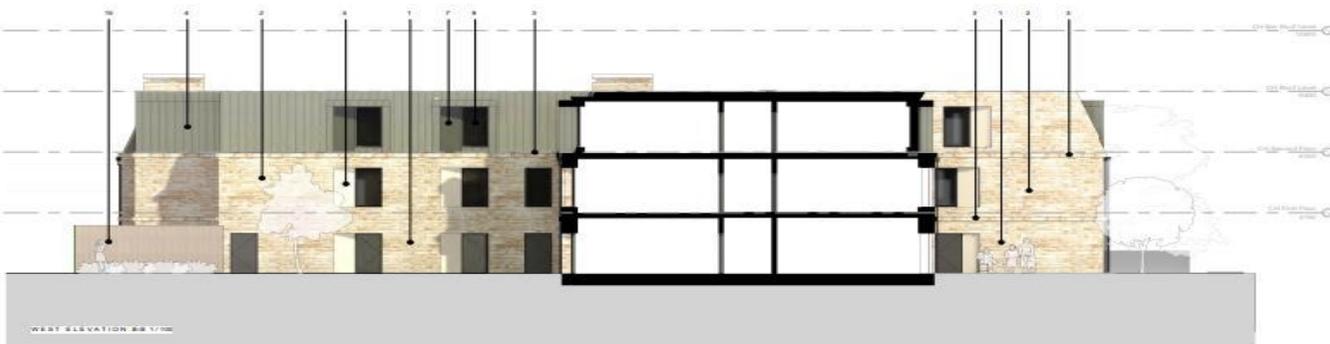
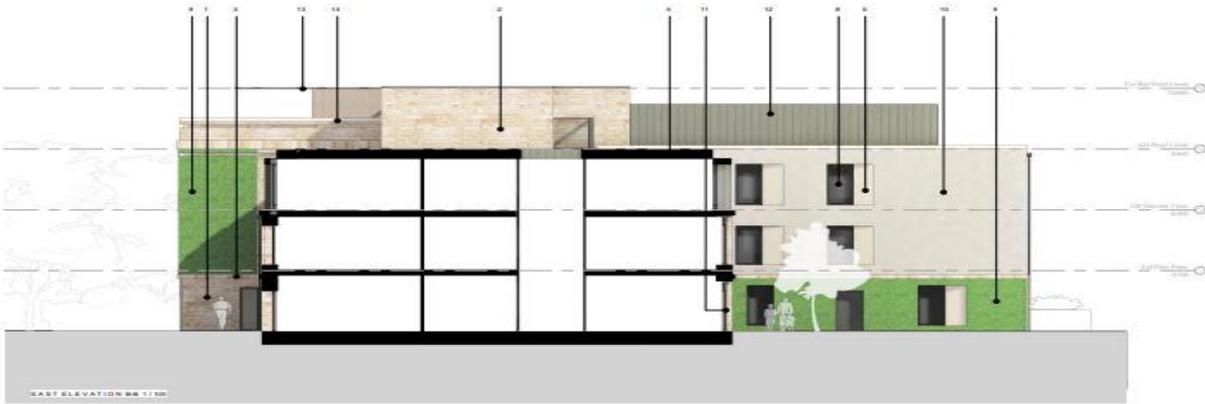
**PLANNING**

NOTE: THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PLANNING APPLICATIONS AND ALL OTHER PLANNING APPLICATIONS AND ALL OTHER PLANNING APPLICATIONS.

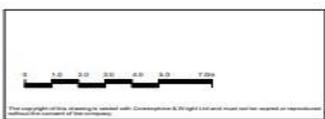
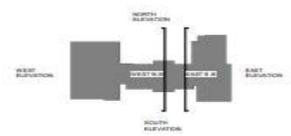
PLEASE REFER TO CORSTORPHINE & WRIGHT ARCHITECTS FOR ANY CHANGES TO BE MADE TO THIS DRAWING.

Client: Springfield Healthcare  
 Project: Wetherby Care Village  
 Drawing Title: Care Home Proposed Elevations Sheet 2  
 Drawing Date: PLANNING

Corstorphine & Wright		Sheet:	22384_CWA_ZZ-A-0316	Revision:	P-6
Author:	HV	Checked:	JS	Drawn:	A1
Date:	01/03/2023	As Indicated:			



- 1. Concrete ground floor - Specification TBC
- 2. Concrete floor finish - Specification TBC
- 3. Concrete floor finish - Specification TBC
- 4. Standing seam zinc roofing - Specification TBC
- 5. Facade cladding to match existing - Specification TBC
- 6. Glass balustrade - Medium - Specification TBC
- 7. Vertical cladding to match existing - Specification TBC
- 8. Acoustic thermal insulation to wall - Specification TBC
- 9. Deep wall - Specification TBC
- 10. Render finish - Dark grey to match existing - Specification TBC
- 11. Acoustic thermal insulation to wall - Specification TBC
- 12. Acoustic thermal insulation to wall - Specification TBC
- 13. Glass cladding system - Specification TBC
- 14. Flat roof system - Specification TBC
- 15. Timber profile for above - Specification TBC



<p>Planning Submission Planning Amendment MBS/AM/Amendments</p>	<p>01/03/23 HV JS 02/03/23 HV JS 03/03/23 HV JS</p>						

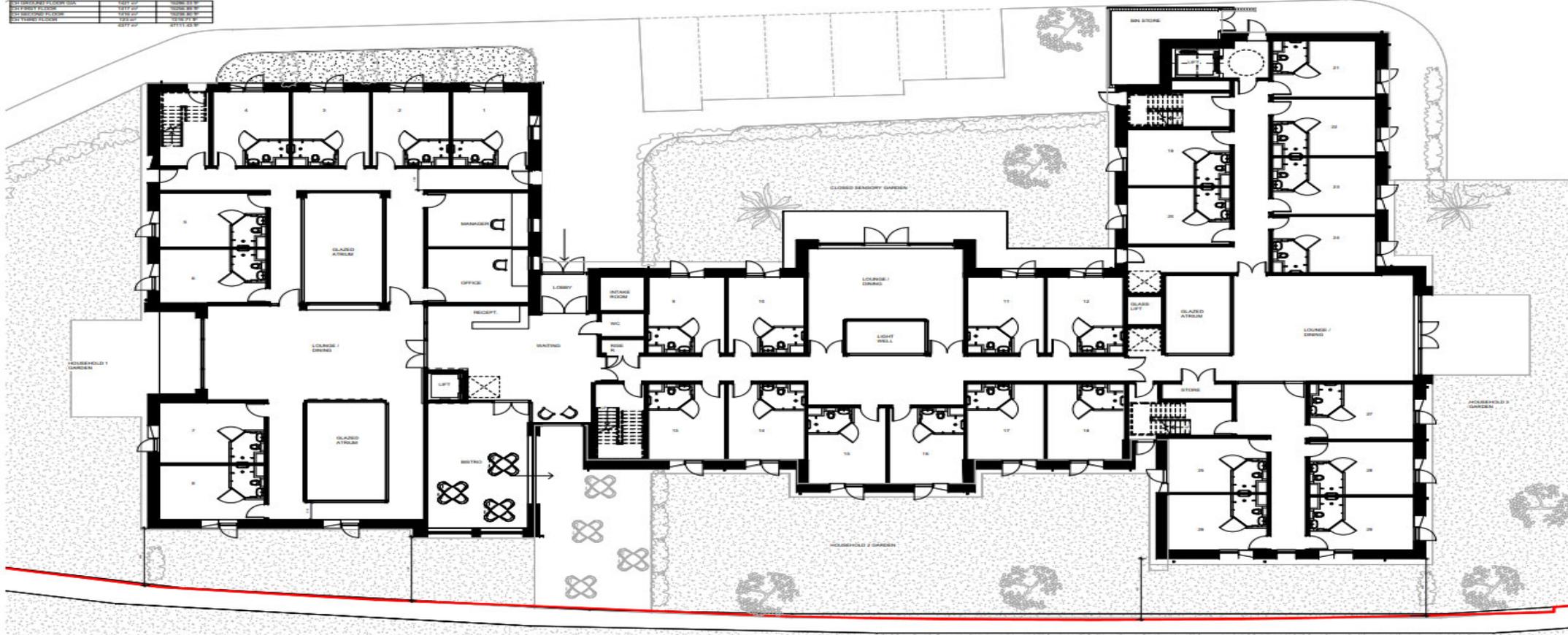
**PLANNING**

NOTE: THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION PROVIDED WITHIN THE PLANNING APPLICATION.

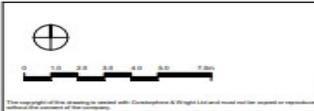
PLEASE REFER TO CORSTORPHINE & WRIGHT ARCHITECTS SITE VISIT DIVERSITY FOR BUILDING POSITIONS.

Client Springfield Healthcare		<b>Corstorphine &amp; Wright</b>	
Project Wetherby Care Village		Registered Architects 2022-23-24	
Drawing Title Care Home Proposed Elevations Sheet 1		Drawing No. 22384-CWA-ZZ-A-0317	
Drawing Status PLANNING		Revision P-6	
HV	JS	A1	As Indicated
			Date 01/03/2023

CH schedule			
Name	AREA (sq ft)	AREA (sq m)	
1st FLOOR	10277.00	1000.00	
2nd FLOOR	10277.00	1000.00	
3rd FLOOR	10277.00	1000.00	
4th FLOOR	10277.00	1000.00	
5th FLOOR	10277.00	1000.00	
6th FLOOR	10277.00	1000.00	
7th FLOOR	10277.00	1000.00	
8th FLOOR	10277.00	1000.00	
9th FLOOR	10277.00	1000.00	
10th FLOOR	10277.00	1000.00	
11th FLOOR	10277.00	1000.00	
12th FLOOR	10277.00	1000.00	
13th FLOOR	10277.00	1000.00	
14th FLOOR	10277.00	1000.00	
15th FLOOR	10277.00	1000.00	
16th FLOOR	10277.00	1000.00	
17th FLOOR	10277.00	1000.00	
18th FLOOR	10277.00	1000.00	
19th FLOOR	10277.00	1000.00	
20th FLOOR	10277.00	1000.00	
21st FLOOR	10277.00	1000.00	
22nd FLOOR	10277.00	1000.00	
23rd FLOOR	10277.00	1000.00	
24th FLOOR	10277.00	1000.00	
25th FLOOR	10277.00	1000.00	
26th FLOOR	10277.00	1000.00	
27th FLOOR	10277.00	1000.00	
28th FLOOR	10277.00	1000.00	
29th FLOOR	10277.00	1000.00	
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46th FLOOR	10277.00	1000.00	
47th FLOOR	10277.00	1000.00	
48th FLOOR	10277.00	1000.00	
49th FLOOR	10277.00	1000.00	
50th FLOOR	10277.00	1000.00	



GROUND FLOOR PLAN 1:100



Rev	Description	Date	By	App'd
1	Planning Submission	01/03/2023	HV	JS
2	Planning Assessment	12/03/2023	HV	JS
3	Planning Assessment	20/03/2023	HV	JS
4	Final Plan	01/03/2023	HV	JS

**PLANNING**

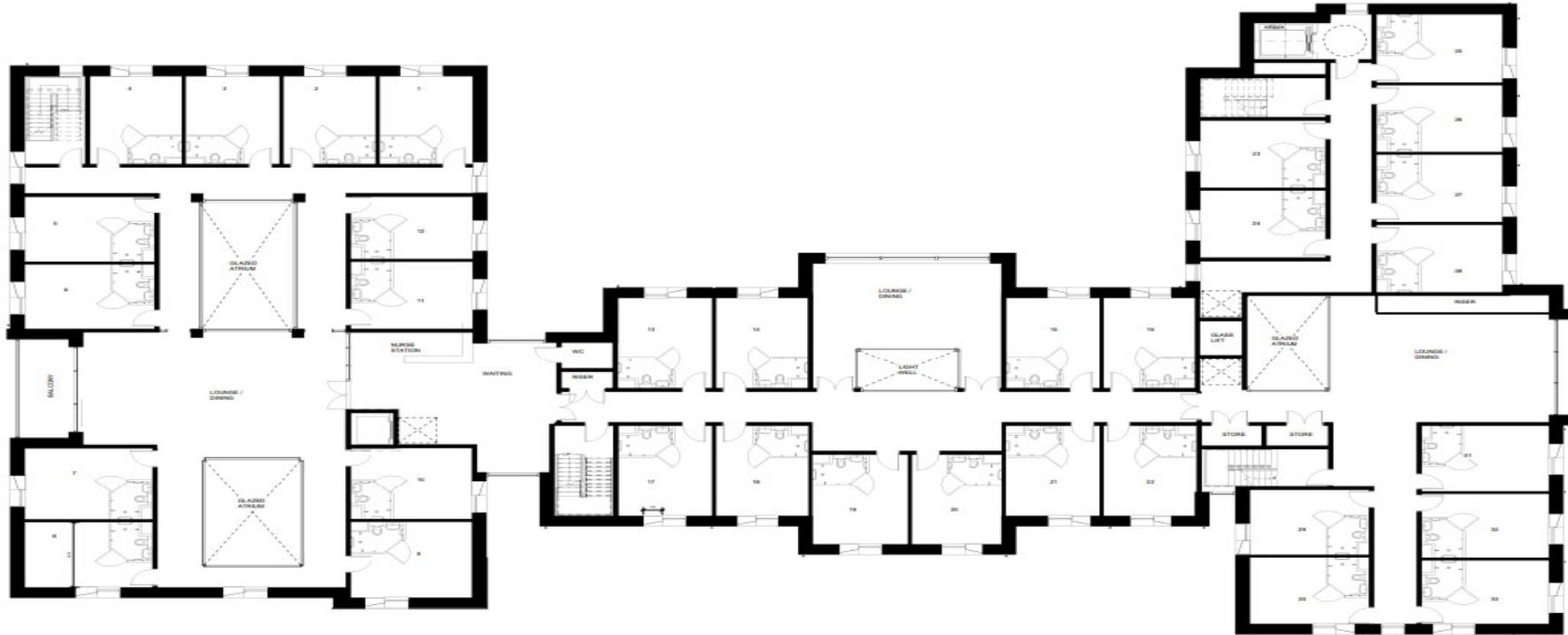
NOTE: THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION PROVIDED WITH THE PLANNING APPLICATION.

PLEASE REFER TO CORSTORPHINE & WRIGHT ARCHITECTS SITE VISIT DRAWING FOR BUILDING PROVISIONS.

Client: Springfield Healthcare  
 Project: Wetherby Care Village  
 Drawing Title: Care Home Proposed Ground Floor Plan  
 Drawing Number: PLANNING

Corstorphine & Wright	
22384-CWA-ZZ-A-0310	2-B
HV JS A1	01/03/2023

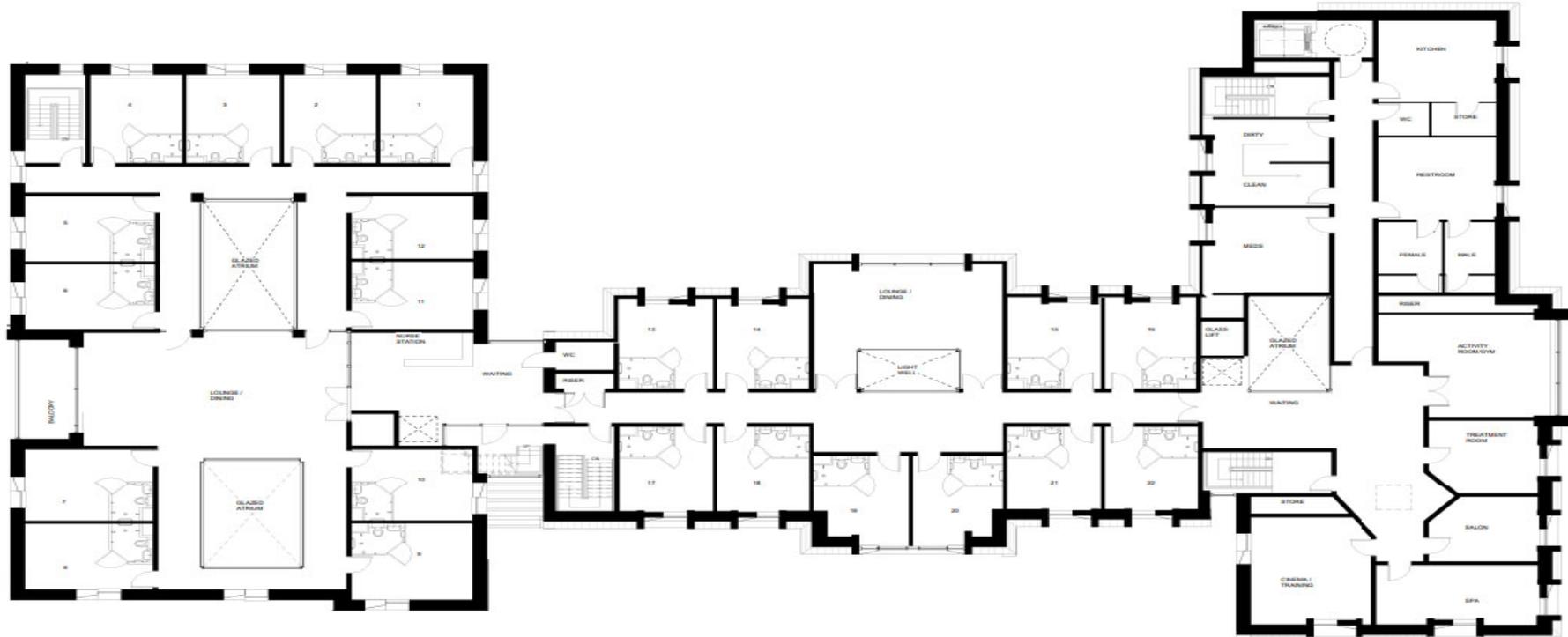
CH schedule		
Name	AREA (sq	AREA (sq
CH CENTRAL FLOOR PLAN	1251 sq	12726 sq
CH NORTH FLOOR PLAN	1214 sq	12326 sq
CH WEST FLOOR PLAN	1214 sq	12326 sq
CH SOUTH FLOOR PLAN	1214 sq	12326 sq



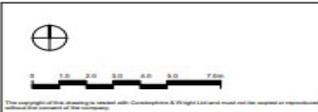
FIRST FLOOR PLAN 1:100

	<p>01/03/23 HV JS 02/03/23 HV JS 03/03/23 HV JS</p>	<p style="text-align: center;"><b>PLANNING</b></p> <p>NOTE: THIS DRAWING IS TO BE RECORDED IN COLLECTION WITH ALL OTHER RELEVANT INFORMATION PROVIDED BY THE PLANNING APPLICATION. PLEASE REFER TO CORSTORPHINE &amp; WRIGHT ARCHITECTS SITE WORK DRAWINGS FOR BUILDING POSITIONS.</p>	<p>Client: Springfield Healthcare Project: Wetherby Care Village Drawing Title: Care Home Proposed First Floor Plan Drawing Status: <b>PLANNING</b></p> <p style="text-align: right;"><b>Corstorphine &amp; Wright</b> Registered Practice Architects 22384-CWA-ZZ-A-0311 HV JS A1 1:100 P-6 01/03/2023</p>
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CH SCHEDULE		
Name	AREA (M <sup>2</sup> )	AREA (SQ FT)
CH SECOND FLOOR WCA	1423.00	15336.00
CH SECOND FLOOR	1314.00	14244.00
CH THIRD FLOOR	173.00	1863.00
CH THIRDS FLOOR	422.00	4511.40



SECOND FLOOR PLAN 1/100



<ul style="list-style-type: none"> <li>□ Draft</li> <li>□ Planning Submission</li> <li>□ Planning Approval</li> </ul>	<ul style="list-style-type: none"> <li>21/03/23 HV JB</li> <li>21/03/23 HV JB</li> <li>21/03/23 HV JB</li> </ul>
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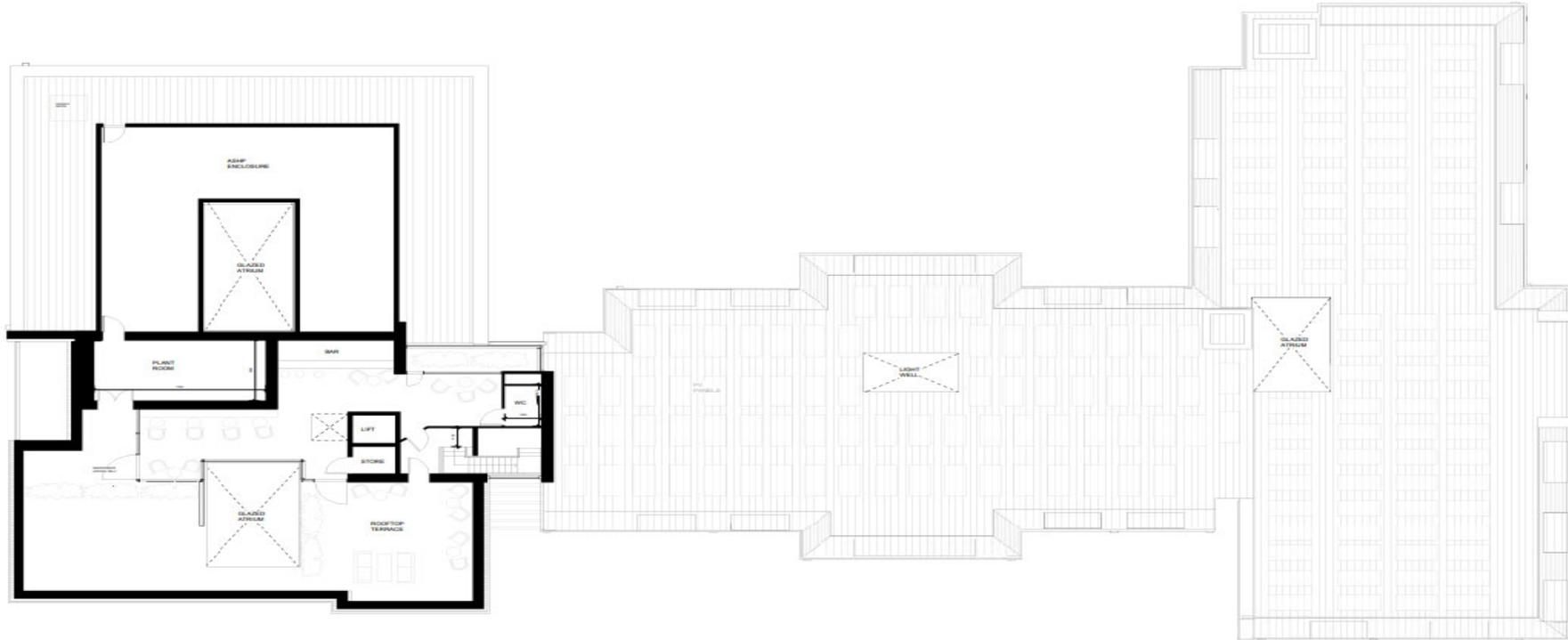
**PLANNING**

NOTE: THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION PROVIDED WITH THE PLANNING APPLICATION.

PLEASE REFER TO CORSTORPHINE & WRIGHT ARCHITECTS FOR ANY DRAWINGS FOR BUILDING POSITIONS.

Client: Springfield Healthcare	<b>Corstorphine &amp; Wright</b>
Project: Wetherby Care Village	
Drawing Title: Care Home Proposed Second Floor Plan	Drawing No: 22384-CWA-ZZ-A-0312
Drawing Status: PLANNING	Scale: HV JS A1 1 : 100
	Page: P-7
	Date: 01/03/2023

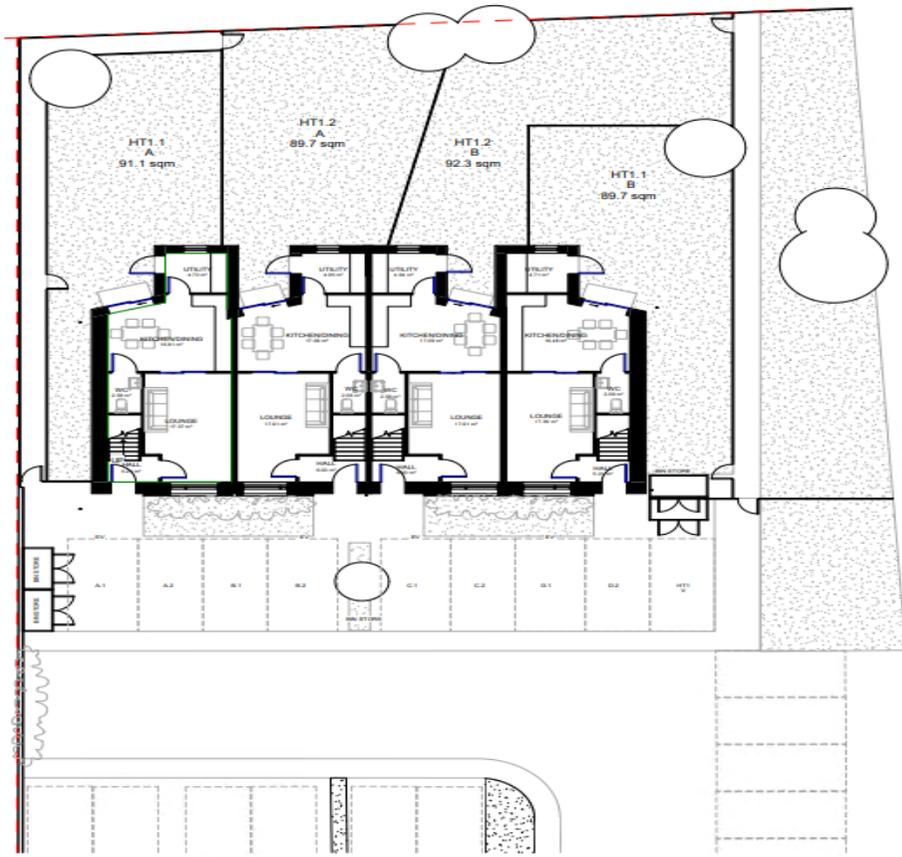
CH schedule		
Name	AREA (sq'	AREA (sq'
01 PROPOSED PLANT ROOM	1207 sq'	1208 sq'
02 GLAZED APERTURE	1111 sq'	1208 sq'
03 PLANT ROOM	1216 sq'	1208 sq'
04 ROOFTOP TERRACE	102	101.4 sq'
	8277 sq'	8711.43 sq'



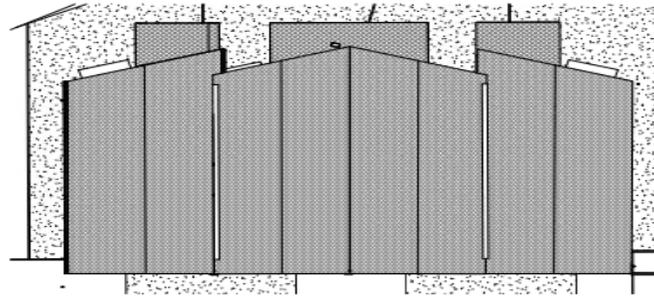
THIRD FLOOR PLAN 1/100

  <small>The copyright of this drawing is retained with Corstorphine &amp; Wright Limited and will be applied in respect of all other drawings of this project.</small>	A. Quote Issued B. Planning Submission C. Planning Approval D. Building Approval	01/03/23 HV JS 01/03/23 HV JS 13/03/23 HV JS 06/03/23 HV JS 06/03/23 HV JS	<p style="text-align: center;"><b>PLANNING</b></p> <p><small>NOTE: THIS DRAWING IS TO BE MADE IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION PROVIDED WITHIN THE PLANNING APPLICATION.</small></p> <p><small>PLEASE REFER TO CORSTORPHINE &amp; WRIGHT ARCHITECTS 01535 500000 FOR ALL OTHER INFORMATION.</small></p>	Client: Springfield Healthcare Project: Wetherby Care Village Drawing Title: Care Home Proposed Third Floor Plan Drawing Status: PLANNING	<p style="text-align: center;"><b>Corstorphine &amp; Wright</b></p> <p><small>Registered Office: 100-102, The Arcade, Leeds LS1 6JG</small></p> <p><small>www.corstorphineandwright.com</small></p> <table border="1"> <tr> <td>Drawing No:</td> <td>22384-CWA-ZZ-A-0313</td> <td>Revision:</td> <td>P.7</td> </tr> <tr> <td>Author:</td> <td>HV</td> <td>Check:</td> <td>JS</td> </tr> <tr> <td>Drawn:</td> <td>JS</td> <td>Scale:</td> <td>1 : 100</td> </tr> <tr> <td>Date:</td> <td>01/03/2023</td> <td></td> <td></td> </tr> </table>	Drawing No:	22384-CWA-ZZ-A-0313	Revision:	P.7	Author:	HV	Check:	JS	Drawn:	JS	Scale:	1 : 100	Date:	01/03/2023		
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Author:	HV	Check:	JS																		
Drawn:	JS	Scale:	1 : 100																		
Date:	01/03/2023																				
<p><small>© Corstorphine &amp; Wright Limited 2023</small></p>																					

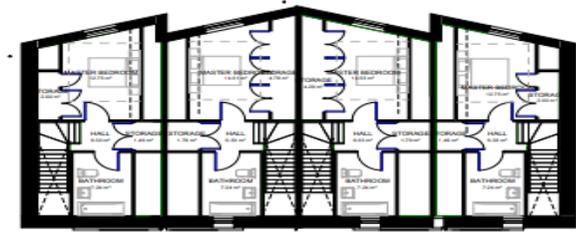




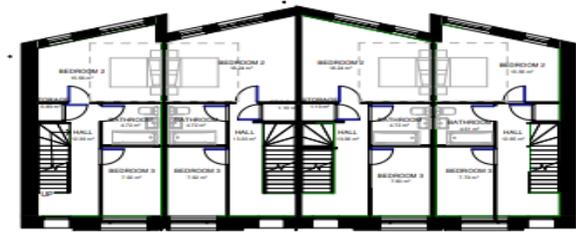
GROUND FLOOR PLAN 1/100



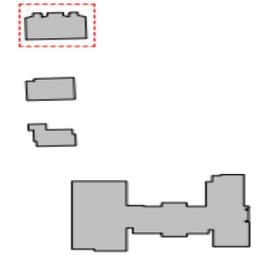
ROOF PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN



HOUSE TYPE 1 - THREE BED

**PLANNING**

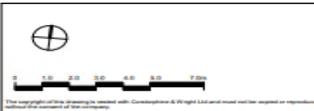
NOTE: THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION PROVIDED WITH THE PLANNING APPLICATION.

PLEASE REFER TO CORSTORPINE & WRIGHT ARCHITECTS WITH ANY ENQUIRIES FOR BUILDING PERMISSIONS.

**MATERIAL KEY**

1.	Limestone (seen on back)	Specification TBC
2.	White Road Tile	Specification TBC
3.	Aluminium window frames in white grey	Specification TBC
4.	Timber Cladding in stone	Specification TBC
5.	Plain Stone	Specification TBC
6.	Black decorative gullies and downpipes	Specification TBC

NDSS Assessed

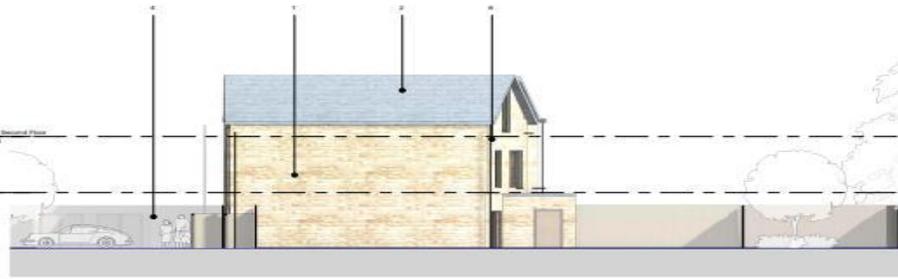


DC	Layout received prior plan submission	18/09/22	YL	JB
DC	Planning Submission	01/10/22	HV	JB
M	Landings Arrangements	13/09/22	HV	JB
M	Planning Amendments	13/09/22	HV	JB
M	Site Allocation/Proposals	18/09/22	HV	JB
M	Proposals	20/09/22	YL	JB

Client:	Springfield Healthcare	Corstorphine & Wright
Project:	Wetherby Care Village	
Revision/Drawn:	22384-CWA-ZZ-XX-DR-A-0320	P-10
Drawing Title:	HT1 - Proposed Plans / Elevations	
Drawing Status:	PLANNING	
Author:	HV	
Checker:	JB	
Appr:	A1	
As Indicated:		
Date:	13/01/2023	



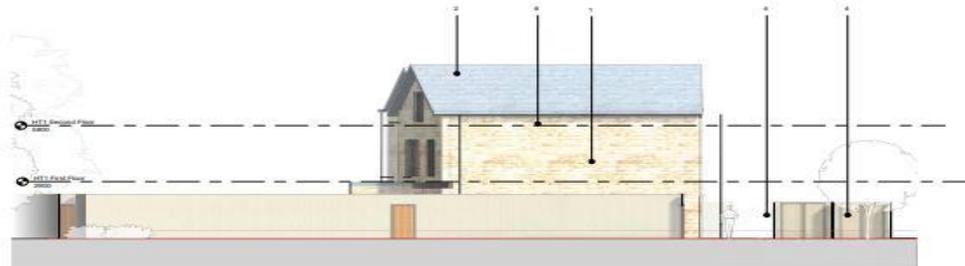
FRONT ELEVATION (SOUTH)



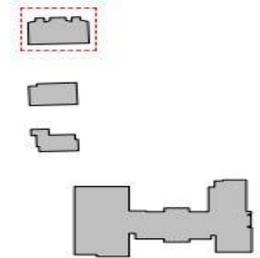
EAST ELEVATION



REAR ELEVATION (NORTH)



WEST ELEVATION



HOUSE TYPE 1 - THREE BED

**PLANNING**

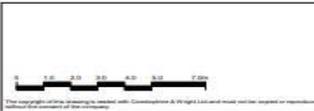
NOTE: THIS DRAWING IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT. ALL INFORMATION PROVIDED HEREIN IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT.

PLEASE REFER TO CONDITIONS & REVISIONS SHEET FOR MORE INFORMATION ON BUILDING POSITIONING.

**REVISIONS**

No.	Description	Date	By	Check
1	Location of house on site - Reproduction 100%			
2	Roof Pitch - Reproduction 100%			
3	Material used on walls in plan view - Reproduction 100%			
4	Front Cladding for stone - Reproduction 100%			
5	Plot Bound - Reproduction 100%			
6	Site boundary gates and driveway - Reproduction 100%			

NDSS Assessed ✓



1	Layout revised after plan submission	18/08/22	YL	JB
2	Planning Submission	07/09/22	HL	JB
3	Planning Amendment	12/09/22	HL	JB
4	Site Reconfiguration	18/09/22	HL	JB
5	Final Submission	20/09/22	HL	JB

Client	Springfield Healthcare
Project	Wetherby Care Village
Drawing Title	HT1 Proposed Elevations
Drawing Status	PLANNING

**Corstorphine & Wright**

22384-CWA-ZZ-XX-DR-A-0321

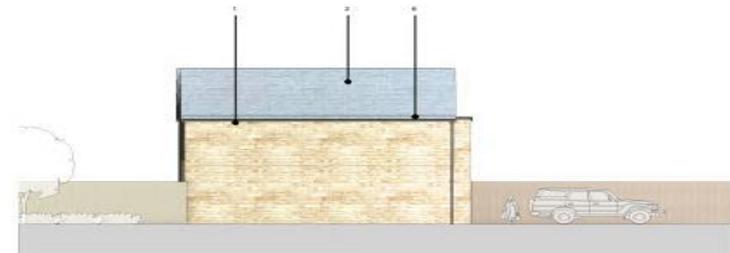
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FRONT ELEVATION (NORTH)



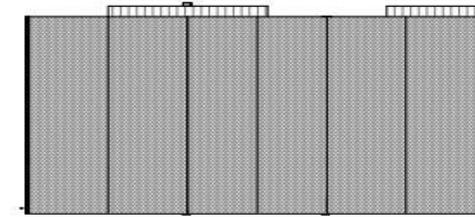
REAR ELEVATION (SOUTH)



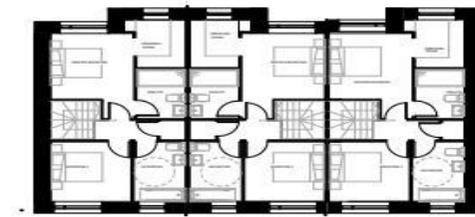
EAST ELEVATION



GROUND FLOOR PLAN



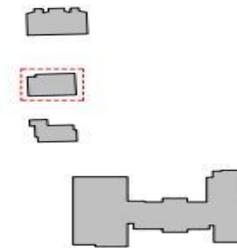
ROOF PLAN



FIRST FLOOR PLAN



WEST ELEVATION



HOUSE TYPE 2 - TWO BED

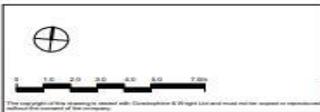
PLANNING

NOTE: THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION PROVIDED WITH THE PLANNING APPLICATION.

PLEASE REFER TO CONSTRUCTION & INSTALL INSTRUCTIONS SITE VISIT DRAWING FOR ALLOWED FORMS.

GENERAL KEY	
1.	Limestone (see on site) - Specifications TEC
2.	Clay Roof Tile - Specifications TEC
3.	Horizontal window frames in dark grey - Specifications TEC
4.	Timber Cladding see above - Specifications TEC
5.	Flint Stone - Specifications TEC
6.	Clay drainage gullies and downpipes - Specifications TEC

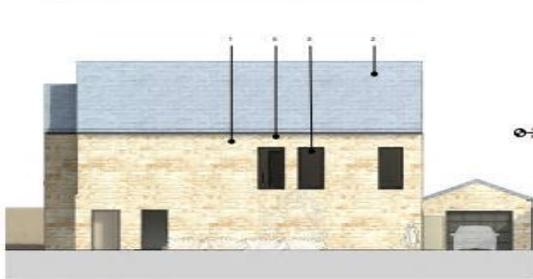
NDSS Assessed



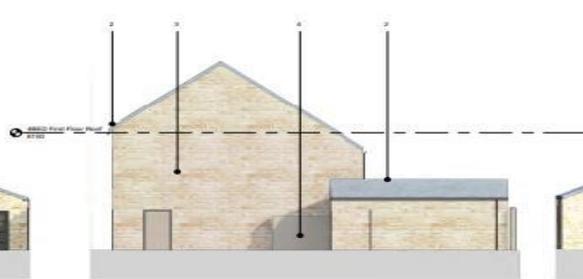
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 1:10

14/03/23 VL JB  
 07/03/23 HV JB  
 12/03/23 HV JB  
 16/03/23 HV JB

Client: Springfield Healthcare	<b>Corstorphine &amp; Wright</b> Newcastle Studio Suite 2, 25, 26a, 27a, 28a, 29a, 30a, 31a, 32a, 33a, 34a, 35a, 36a, 37a, 38a, 39a, 40a, 41a, 42a, 43a, 44a, 45a, 46a, 47a, 48a, 49a, 50a, 51a, 52a, 53a, 54a, 55a, 56a, 57a, 58a, 59a, 60a, 61a, 62a, 63a, 64a, 65a, 66a, 67a, 68a, 69a, 70a, 71a, 72a, 73a, 74a, 75a, 76a, 77a, 78a, 79a, 80a, 81a, 82a, 83a, 84a, 85a, 86a, 87a, 88a, 89a, 90a, 91a, 92a, 93a, 94a, 95a, 96a, 97a, 98a, 99a, 100a	
Project: Wetherby Care Village		
Drawing Title: HT2 - Proposed Plans / Elevations	Drawing No: 22384-CWA-ZZ-XX-DR-A-0322	Revision: P-10
Drawing Status: PLANNING	Author: HV JS AT	Date: 01/03/2023



FRONT ELEVATION (EAST)



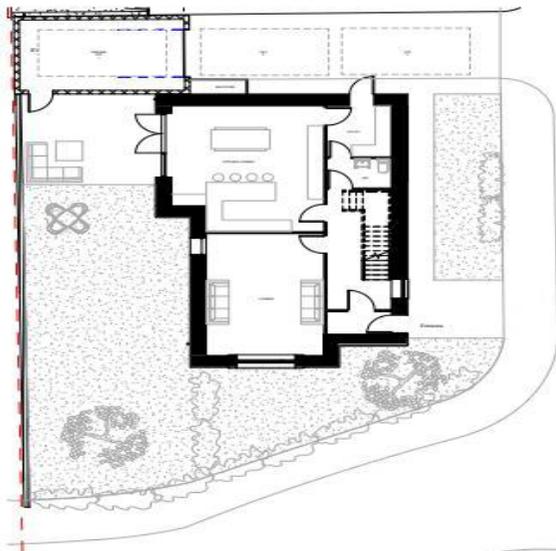
NORTH ELEVATION



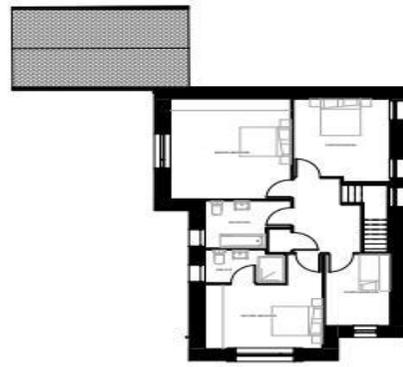
WEST ELEVATION



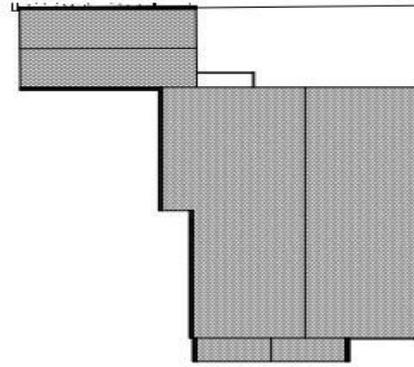
SOUTH ELEVATION



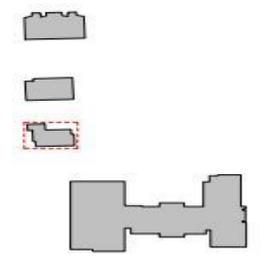
GROUND FLOOR PLAN



FIRST FLOOR PLAN



ROOF PLAN



HOUSE TYPE 3 - FOUR BED

**PLANNING**

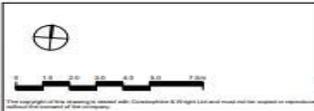
NOTE: THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION PROVIDED WITH THE PLANNING APPLICATION.

PLEASE REFER TO CORSTORPINE & WRIGHT ARCHITECTS LTD. WEBSITE FOR OUR FULL LIST OF SERVICES.

**MATERIAL KEY**

- 1. Location of doors or windows - Specification TBC
- 2. Brickwork - Specification TBC
- 3. Masonry window frames in brickwork - Specification TBC
- 4. Timber Cladding for doors - Specification TBC
- 5. Flat Roofs - Specification TBC
- 6. Glass window panes and doors - Specification TBC

NDSS Assessed ✓



<ul style="list-style-type: none"> <li>1. Local Council plan - other information</li> <li>2. Planning Submission</li> <li>3. Planning Amendment</li> <li>4. Site Measurement</li> </ul>	<ul style="list-style-type: none"> <li>15/08/22 HV JS</li> <li>07/09/22 HV JS</li> <li>12/02/23 HV JS</li> <li>03/08/23 HV JS</li> <li>15/02/24 HV JS</li> </ul>
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Client: Springfield Healthcare Project: Wetherby Care Village Drawing Title: HT3 - Proposed Plans / Elevations Drawing Status: PLANNING	<b>Corstorphine &amp; Wright</b> Newcastle Studio Suite 2, 40 Cross Street, Newcastle Upon Tyne, NE1 6BP 0191 412 3422 corstorphine@cwright.com
Drawing No: 22384-CWA-ZZ-XX-DR-A-0323 Date: 01/03/2023 Scale: 1/100	Revision: P-10 Date: 01/03/2023

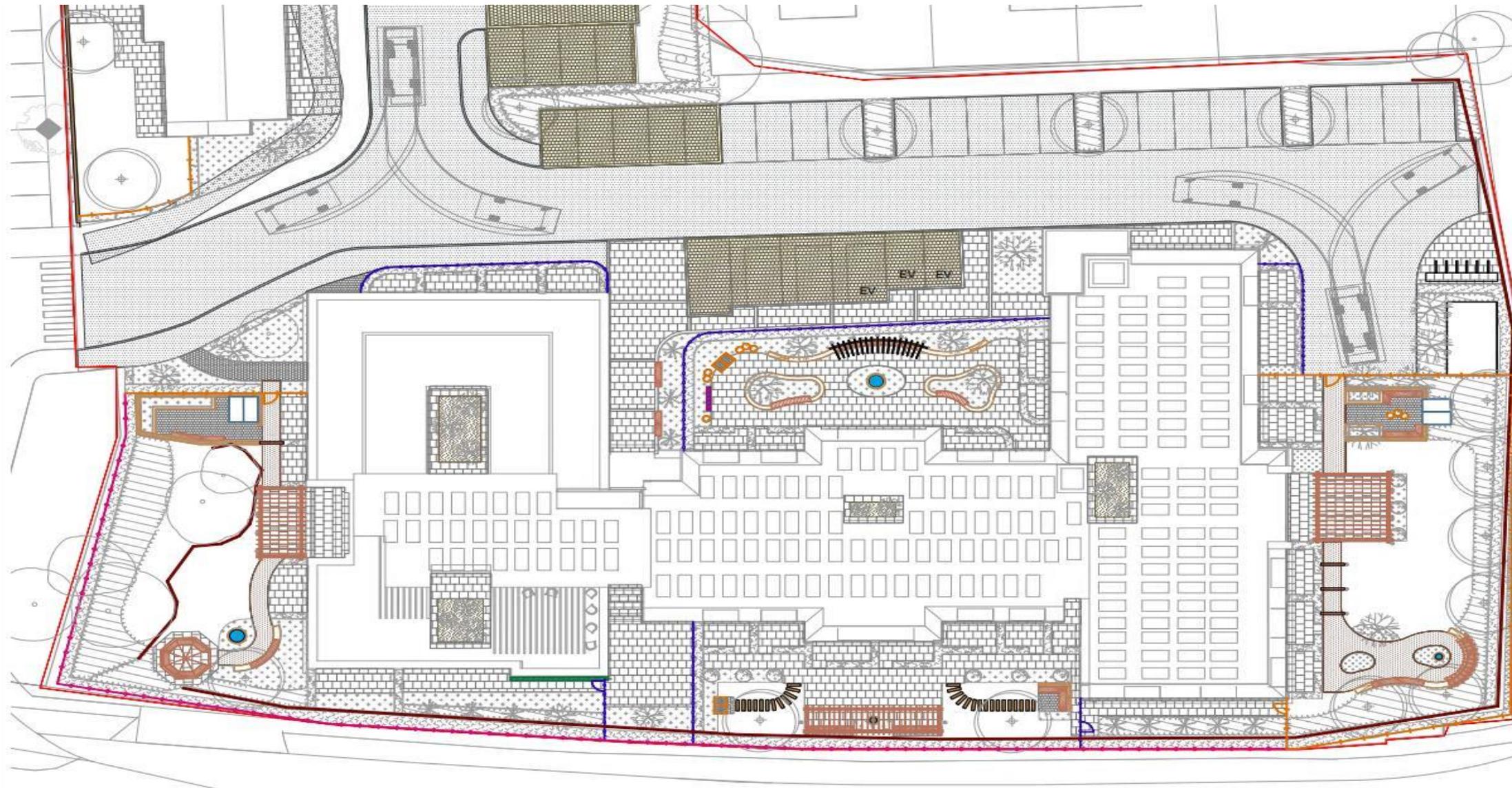


Figure 7.1 Indicative view of senior living units









# NORTH & EAST PLANS PANEL

THURSDAY, 19<sup>TH</sup> OCTOBER 2023

**END OF PRESENTATION**

